**SCHEDULING NOTE**

Prior to the start of any work, the General Contractor shall submit a proposed written description for a weekly (method of Procedure Form) for approval by the Owner.

The General Contractor shall be responsible for maintaining building security at all times. At the end of each day, close up the building as required to insure a safe, secure and waterproof condition.

MECH. & ELEC. NOTE:

ALL NEW MECHANICAL AND ELECTRICAL WORK SHALL BE N.I.C. & UNDER CONTRACT DIRECTLY WITH THE OWNER. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING MECHANICAL AND ELECTRICAL.

FIRE PROTECTION NOTE:

ALL NEW FIRE ALARM WORK SHALL BE N.I.C. AND UNDER CONTRACT DIRECTLY WITH THE OWNER. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WORK OF ALL TRADES INCLUDING FIRE PROTECTION.

PARTIAL PLAN KEY NOTES:

- 1 EXIST SHEET VINYL FLOORING AND BASE TO BE REMOVED BY OWNER - N.I.C.
- 2 EXIST CARPET AND RUBBER BASE TO BE REMOVED BY OWNER - N.I.C.
- 3 EXIST FLOOR TILE AND BASE TO BE REMOVED BY OWNER - N.I.C.
- 4 REMOVE ENTIRE EXISTING 10' PRATED 4 G.M.B. WALL INCLUDING PATCH ADJ. SURFACES AS REQUIRED TO MATCH EXIST. ADJ. TO MATCH EXIST.
- 5 EXIST OUTLET & SWITCH IN DEMO WALLS SHALL BE REMOVED BY OWNER - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORD. ALL RECD. ELEC. MODIFICATIONS W/ CONSTR. SCHEDULE REMOVE AND SALVAGE EXIST. DOOR, FRAME AND HARDWARE USE IN NEW LOCATIONS - SEE FLOOR PLAN
- 6 REMOVE EXIST. DOOR AND FRAME
- 7 REMOVE EXIST. CABINET, COUNTER TOP AND OVERHEAD CABINETS
- 8 REMOVE EXIST. URINAL - CAP PUMPING IN WALL AND PATCH ADJ. SURFACES AS REQD. TO MATCH EXIST.
- 9 RELOCATE EXIST. PUMPING FIXTURES, GRAB BARS AND MIRROR TO NEW RESTROOM.
- 10 EXIST (3) 2x4 COL. AND HEADER TO BE REPLACED W/ NEW COL. FRONT BEAM TO FLR. SEE FLR. PLAN
- 11 EXIST ELEC. PANEL TO BE RELOCATED TO SEWER ROOM - N.I.C.
- 12 PATCH ADJ. SURFACES AS REQD. TO MATCH EXIST.
- 13 REMOVE EXIST. WALL AS REQD. FOR NEW RELOCATE WINDOW FRAMING - PATCH ADJ. SURFACES TO MATCH EXIST.
- 14 REMOVE EXIST. CABINET, COUNTER TOP AND OVERHEAD CABINETS AND RELOCATE TO DELIVERY/WORK ROOM SEE A-2
- 15 RELOCATE EXIST. FIRE EXTINGUISHER CABINET SEE SHEET A-2 FOR NEW LOCATION
- 16 EXIST. FIRE EXTINGUISHER CABINET TO REMAIN
- 17 REMOVE EXIST. WALL MOUNTED COUNTER TOP & SALVAGE - PATCH ADJ. SURFACES TO MATCH EXIST.
- 18 REMOVE 3 ROWS OF EXIST. WALL MOUNTED WOOD TRIM - PATCH ADJ. SURFACES TO MATCH EXIST.
- 19 EXIST. ELEC. PANEL TO REMAIN
- 20 REMOVE ENTIRE EXIST. SHOWER AND WALL PRATING PATCH ADJ. SURFACES AS REQD. TO MATCH EXIST.

GENERAL NOTES

1. General Contractor is responsible for compliance with all local codes and ordinances. All construction shall comply with the following codes (2018 editions), Δ
 - A. International Building Code
 - B. International Plumbing Code
 - C. National Electrical Code
 - D. International Fire Code
 - E. International Fire Code
 - F. ICC A117.1-2017
2. Standard for Accessible and Usable Buildings and Facilities
3. If local codes and ordinances are more stringent, Contractor shall comply. All subcontractors shall apply for and pay for all applicable permits required for the work under this contract.
4. General Contractor shall verify all dimensions and existing conditions before starting work. Notify Architect of any discrepancies.
5. Demolition, removal and all new work shall be performed in accordance with the details of the Owner's normal business routine. Confer with the local building manager and Owner's Representative and coordinate prior to any demolition work.
6. Unless specifically noted or otherwise indicated, all removed or salvaged materials become the property of the General Contractor. The General Contractor shall adequately protect all of Owner's equipment from damage in this contract. Coordinate protection procedures with the Owner's Representative and local building manager.
7. General Contractor is responsible for proper to insure that all openings for conduits and piping are provided for and properly located, coordinate with subcontractors.
8. All cutting of concrete or masonry shall be performed with carbide-tipped power driven tools. All cuts shall be square and true.
9. Remove all exposed abandoned electrical and mechanical piping. Patch all surfaces damaged or disfigured by abandoned piping.
10. Patch and repair work to match existing adjacent surfaces. Patch all surfaces damaged or disfigured by work under this contract, including holes left by subcontractors. General Contractor shall be responsible for maintaining building security at all times.
11. Finish notes may not specifically cover all conditions in the building, however, they shall be used as a standard guide for similar conditions.
12. General Contractor shall coordinate on-site parking with the Sno-Isle Managing Librarian.
13. General Contractor shall coordinate on-site tool and material storage with the Sno-Isle Managing Librarian.
14. General Contractor shall coordinate on-site tool and material storage with the Sno-Isle Managing Librarian.

BUILDING/TENANT DATA

OCCUPANT GROUP:	A-3
CONSTRUCTION TYPE:	EXIST TYPE VB, NO SPRINKLERS
GROUPS LEASABLE AREA:	4,733 S.F.
OCCUPANT LOAD FACTOR:	STACK AREA 100 SF / PERSON GROSS AREA READING ROOMS 50 SF / PERSON NET AREA 70 PERSONS TOTAL
OCCUPANT LOAD:	70 PERSONS TOTAL
(REFER TO SHT. A-0)	
MAXIMUM EGRESS TRAVEL:	65 FEET - 200 FEET (NON-SPRINKLED) ALLOWABLE
PLUMBING OCCUPANT LOAD:	MAX. CAPTION PANEL 75 FEET

PARCEL NUMBER

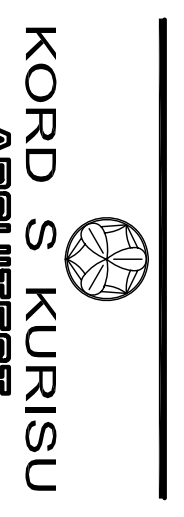
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0056220000000912

PROPERTY DESCRIPTION

SECTION 02 TOWNSHIP 29 RANGE 06 QTR NE SUBDIVISION RIVERS HILL PLAT NO 1 BLDG D-10 - ALT. 15571 LOT 10 GADSDEN OF EDWARDS CO. SD LOT 9 TH NW 50' 46' E 150FT TO ELY LN SD LOT 9TH NLY ALG E LN SD LOT 135.67FT TO POB (AKA LOT 2 CITY OF LEST SP REC UND AFN 79005015)

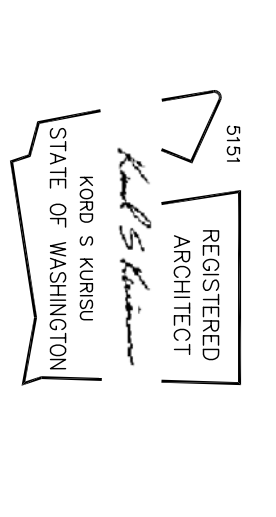


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salasobrien.com



REGISTERED ARCHITECT
KORD S KURISU
ARCHITECT
P.O. BOX 22
1000 1ST AVE SE
SEATTLE, WA 98108
CONSULTANT

PROFESSIONAL SEAL

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ISSUE SETS

ISSUE SET	DATE
PERMIT SET	3/7/2021
BLD SET	4/29/21

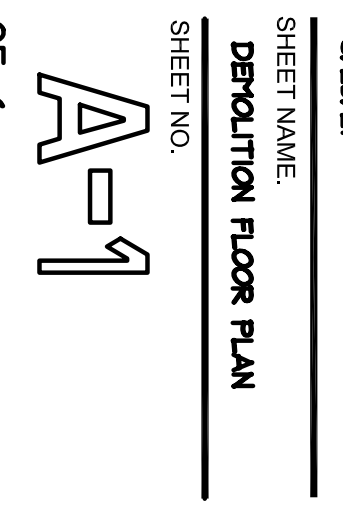
REVISIONS

NO.	DATE	DESCRIPTION
1	4/29/21	PERMIT REVIEW REV.

**SNO-ISLE LIBRARIES
LAKE STEVENS TEMP. LIBRARY**
BUILDING ALTERATIONS
2211 GRADE ROAD
LAKE STEVENS, WASHINGTON

PROJECT MANAGERS
CHECKED BY: **SKS**
DATE: **3/26/21**
DRAWN BY: **SKS**
DATE: **3/26/21**

SHEET NAME:
DEMOLITION FLOOR PLAN
SHEET NO.: **A-1**

**SAFETY REGULATIONS**

General Contractor shall abide by all Federal, state, and local agencies safety regulations which may be affected by the performance of the new work of this project. The General Contractor shall provide handrails, elevators, ladders, traffic & pedestrian barriers, etc. and maintain all safety procedures for the duration of the project.

DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"