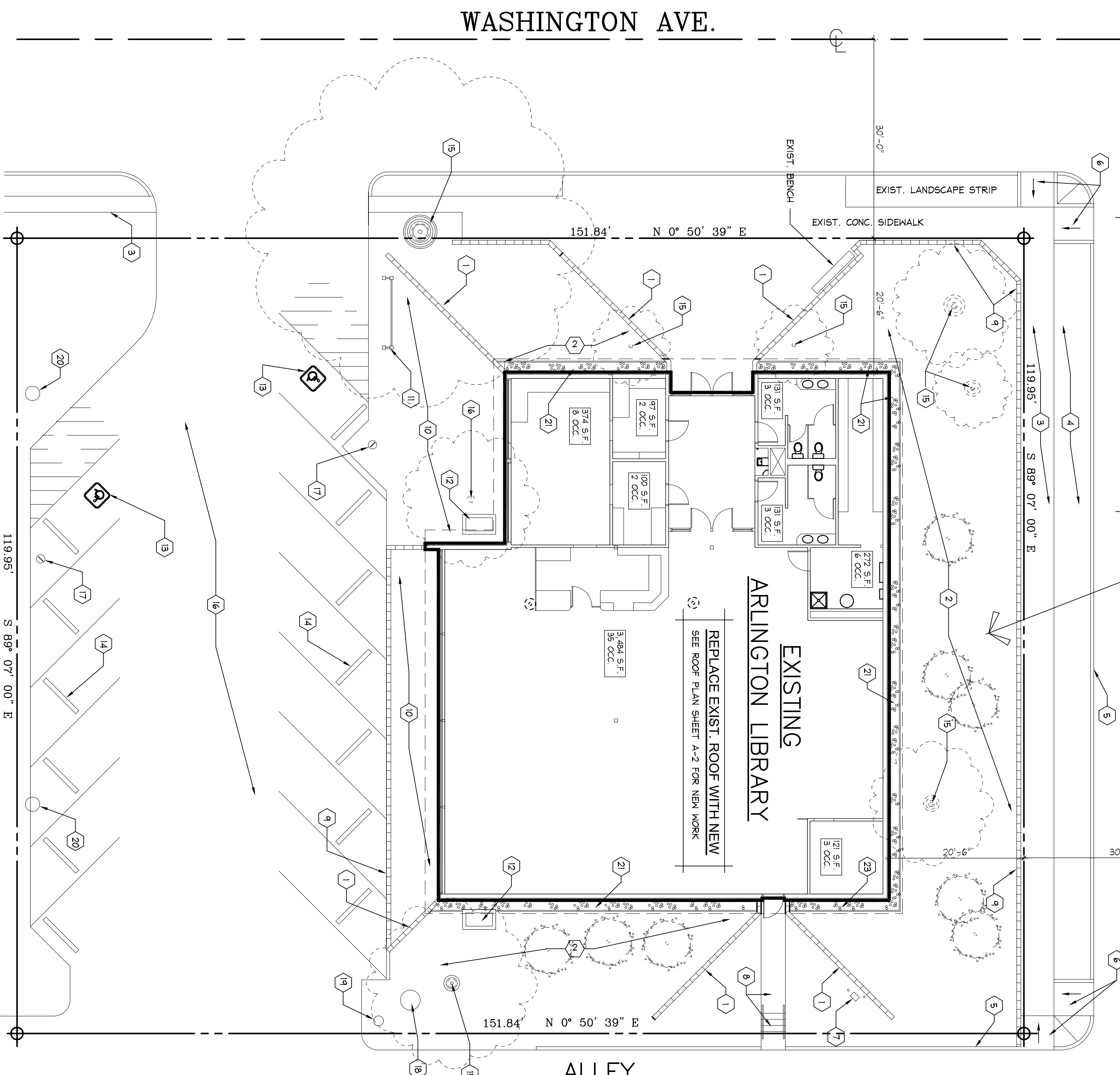


2ND STREET

CONTRACTOR ACCESS NOTE:
CONTRACTOR SHALL ACCESS THE ROOF FROM THIS SIDE OF THE BUILDING.
PROVIDE TARPS OVER THE EXTERIOR FACE OF BUILDING AT ROOF ACCESS POINT TO PROTECT BUILDING FACE FROM DEBRIS AND ROOFING MATERIALS.



PROTECTION NOTE:

Contractor shall be responsible for coordinating all necessary precautions to protect Sno-Isle's equipment and furnishings from dust, debris, and water damage due to any work. All finished surfaces, including walls, floors, and ceilings, shall be protected with plastic sheeting. Special consideration shall be given to protecting the building envelope. Under no circumstances will moisture be allowed to enter the interior building envelope. The Contractor shall be responsible for maintaining the building envelope in a dry condition at all times. The Contractor shall clearly supervise the work of all subcontractors and shall clean work areas as the work progresses.

SCHEDULING NOTE:

Prior to the start of any work, the Contractor shall submit a proposed written description for a weekly schedule noting proposed work days and hours for each trade. This schedule shall be approved by the Owner's Project Representative. The Contractor shall be responsible for maintaining building security at all times. At the end of each day, close up the building as required to insure a safe, secure and waterproof condition.

CAUTIONS:

Contractor shall identify the existing HVAC air intake locations and verify with Owner. Precautions shall be taken to block off and manually override outside air cycle of equipment. Field verify, clean and coordinate with the Owner's Building Manager. All work shall be performed in a safe manner. Also take into consideration the wind direction when roofing operations are not near air intakes.

BUILDING ACCESS:

No access to the roof will be allowed through the building. The Contractor shall provide temporary construction elevators and ladders as required to perform the new work, and as required by all governing agencies safety regulations. Ladders or any other construction related equipment shall be coordinated with the facility Building Manager.

FINISH NOTES:

1. Paint all new exposed steel framing, channels, angle supports, etc. Color as selected by Architect.
2. At all areas where existing equipment, panels, etc. are removed or new work is performed, apply a coat of paint to match existing adjacent surfaces.
3. New factory finish items, conduit and ductwork are not to be painted.
4. All electrical conduits shall be painted (Unibond Superstik, Kinder, etc.) used on exterior for "Finish and Elect. Items".

SAFETY REGULATIONS:

Contractor shall abide by all Federal, State and local safety regulations, which may be affected by the performance of the new work of this project. The Contractor shall provide handrails, elevators, ladders, etc. and maintain all safety procedures for the duration of the project.

OCCUPANT LOAD TOTAL AND FOR EACH SPACE

OCCUPANT LOAD FACTOR: 100 SF / PERSON GROSS AREA (STACK AREAS)
OCCUPANT LOAD FACTOR: 50 SF / PERSON NET AREA (READING ROOMS NET)
TOTAL OCCUPANT LOAD = 62 PERSONS

LEGAL DESCRIPTION

LOTS 1, 2, 3 AND 4 BLOCK 5 GIFFORDS FIRST ADDITION OF PLATTING AND RECORDS OF SNO-ISLE COUNTY, WASHINGTON

SITE PLAN
SCALE: 1" = 10'-0"

PARCEL NO.
00455-400500100

BUILDING DATA

OCCUPANCY GROUP: A-3
CONSTRUCTION TYPE: 5, 055 S.F.
BUILDING AREA: MR-1
ZONING: THREE (3)
FIRE DISTRICT: 18, 240 S.F.
SITE AREA:

GENERAL NOTES

1. Contractor is responsible for compliance with all local codes and ordinances. All construction shall comply with the following codes (2018 editions),
A. International Building Code
B. International Plumbing Code
C. International Mechanical Code
D. International Electrical Code
E. International Fire Code
F. ICC A117.1-2017
Standard for Accessible and Usable Buildings and Facilities
If local codes and ordinances are more stringent, Contractor shall comply.
2. Contractor and all subcontractors shall apply for and pay for all applicable permits required for the work under this contract.
3. Contractor shall verify all dimensions and existing conditions before starting work. Notify Architect of any discrepancies.
4. Demolitions, removal and all new work shall be performed with a minimum of interruption of the Owner's normal business routine. Coordinate with the local building department and the Owner's Representative and coordinate prior to demolition work.
5. Unless specifically noted or otherwise indicated, all removed or salvaged materials become the property of the Contractor and shall be removed from the site. Adequately protect all of Owner's equipment from damage and malfunctions due to dust and debris caused by work in this contract. Coordinate protection procedures with the Owner's Representative and local building manager.
6. Contractor is responsible for proper coordination of the work of all trades, and to insure that all openings for conduits and piping are provided and properly located, coordinate with subcontractors.
7. All cutting of concrete or masonry shall be performed with carbide-tipped power driven tools. All cuts shall be square and true.
8. Be square and true. Develop electrical and mechanical equipment. Exposed piping and conduit may be left in place if concealed behind existing surfaces. Cap all abandoned piping.
9. Patch and repair work to match existing adjacent surfaces. Patch all surfaces damaged or disfigured by work under this contract, including holes left by removal of existing items or equipment.
10. Contractor shall be responsible for maintaining building security at all times.
11. Finish notes may not specifically cover all conditions in the building, however, they shall be used as a standard guide for similar conditions.
12. The Contractor shall coordinate with the Sno-Isle Capital Facilities Project Manager and Sno-Isle Capital Facilities Project Manager. Contractor shall coordinate on-site tool and materials storage with the Sno-Isle Capital Facilities Proj. Manager.

SITE PLAN KEY NOTES:

1. EXIST. SLOPED C.T.U. RETAINING WALL
2. EXISTING BERRYED EARTH AGAINST EXISTING BUILDING TO REMAIN - PROTECT EXISTING TREES AND LANDSCAPING AS REQD.
3. EXISTING CONC. SIDEWALK
4. EXISTING LANDSCAPE STRIP
5. EXISTING CONC. STREET CURB
6. EXISTING ADA CURB CUT
7. EXISTING GAS METER & GAS LINES - PROTECT AS REQD.
8. EXISTING CONC. WALK, STEPS AND HANDRAIL TO REMAIN
9. EXIST. LANDSCAPE C.T.U. RETAINING WALL TO REMAIN
10. EXISTING LANDSCAPING TO REMAIN
11. EXIST. BIKE BACK TO REMAIN
12. EXIST. MECH. AIR INTAKE
13. EXIST. ACCESSIBLE PARKING STALL AND SYMBOL.
14. EXIST. CONC. WHEEL STOPS TO REMAIN
15. EXIST. TREE TO REMAIN - PROVIDE PROTECTION BARRIERS AROUND TREE DURING CONSTRUCTION AS REQD.
16. EXIST. ASPHALT PAVING
17. EXIST. ACCESSIBLE PARKING SIGN
18. APPROX. LOCATION OF TEL. MANHOLE - VERIFY EXACT LOCATION
19. APPROX. LOCATION OF EXIST. TEL. POLE
20. APPROX. LOCATION OF EXIST. AREA LIGHT POLE
21. EXIST. WOOD SCREED AND WASHED GRAVEL BORDER

DRAWING INDEX

A-1	SITE PLAN, GENERAL NOTES
A-2	ROOF PLAN, ROOFING DETAILS
A-3	NORTH & EAST BUILDING ELEVATIONS
A-4	SOUTH & WEST BUILDING ELEVATIONS

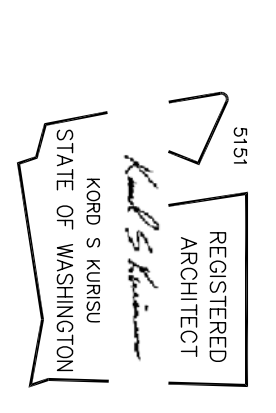
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PROFESSIONAL SEAL



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ISSUE SETS

ISSUE SET	DATE
BID SET	9/21/21

REVISIONS

NO.	DATE	DESCRIPTION

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9/21/21

SHEET NAME:

SITE PLAN, MISC. NOTES

SHEET NO.

OF 4