

**Addendum NO. 004**

**Date** 12/21/2022  
**Project Name** Darrington Library Tenant Improvements  
**Project Number** 2022015.00  
**Project Phase** Bidding  
**Project Location** Darrington, WA

**Issue Date** 12/21/2022  
**Bid Date** 1/5/2023

**To** All contractors, subcontractors and suppliers  
**From** **MSR Design**  
510 Marquette Avenue South, Suite 200  
Minneapolis, MN 55402

**Introduction**

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated 11/17/2022. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification. Reference made below to Specifications and/or Drawings shall be used as a guide only. When Specification Sections or Drawings are issued, changes made in Specification or on Drawings will take precedence over narrative explanation below. Contractor shall determine for themselves the work affected by Addendum items. This Addendum consists of two pages, plus attachments listed below. It is assumed that specification sections and drawings are not attached unless specifically indicated as *Attached*.

**Attachments**

**Specifications** None  
**Detail Drawings** None  
**Drawings** AD001, AD101, A001, A101, A151 and A501  
**Special Attachments** None

If attachments are not as stipulated above, please notify MSR Design promptly.

**Changes to Project Manual**

None

**Changes to Drawings**

1. AD001 Demolition Site Plan
  - a. Demolition scope is revised.
2. AD101 Level 1 Demolition Plan
  - a. Demolition Keynote D22 is added.
3. A001 Site Plan
  - a. Landscape scope is clarified
4. A101 Level 1
  - a. Callout for restroom enlarged plan in meeting room is added.

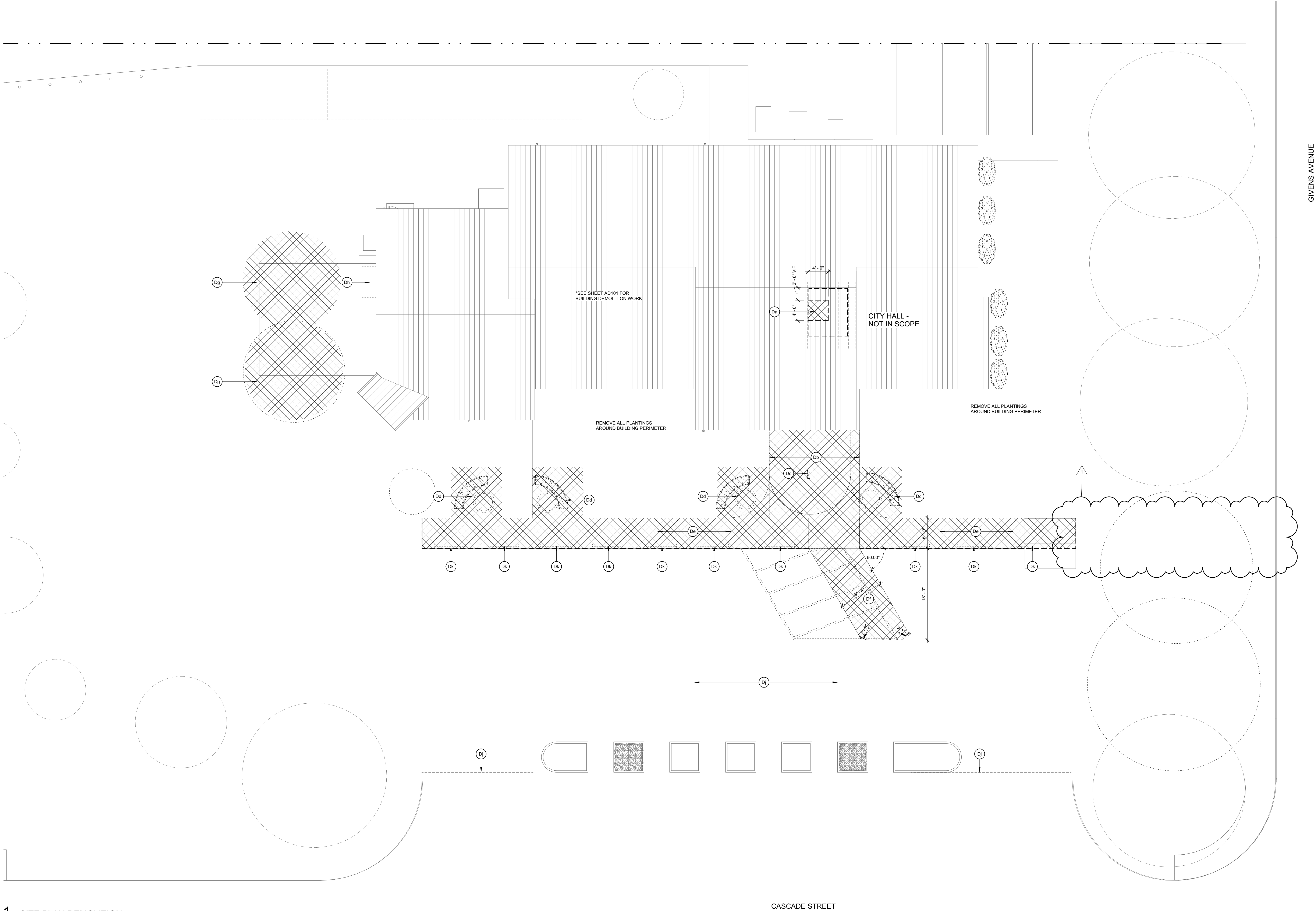
5. A151 Toilet plans and elevations
  - a. Provide new toilet accessories to meeting room restroom.
6. A501 Interior Elevations
  - a. 10/A501 Revised: Relocate return air louver from ceiling to bulkhead wall.

**End of Addendum 004**

D:\projects\2023\AD001\1 SITE PLAN DEMOLITION.dwg, 12/21/2022, 1:15:17 PM, C:\ProgramData\Autodesk\LT\2023\Autodesk LT 2023.msp, Matthew Kruntorad

1 SITE PLAN DEMOLITION

AD001 1/8" = 1'-0"



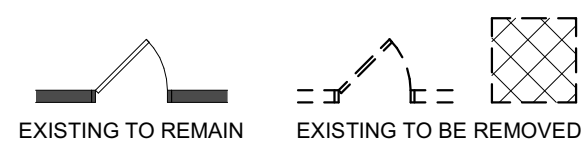
DEMOLITION GENERAL NOTES

1. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS
2. COORDINATE DEMOLITION DRAWING WITH ALL NEW CONSTRUCTION DRAWINGS TO VERIFY EXACT SCOPE OF DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. ALL ITEMS INDICATED TO BE REMOVED AND SALVAGED TO BE PROTECTED FROM DAMAGE DURING REMOVAL. STORE IN PROTECTED LOCATION FOR FUTURE REUSE.
4. ALL EXISTING DOORS AND FRAMES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE DURING DEMOLITION.
5. ALL EXISTING LIGHT FIXTURES, JUNCTION BOXES, AND WIRING TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
6. ALL EXISTING DIFFUSERS, VENTS AND HEATING UNITS AND METAL COVERS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
7. ALL EXISTING IRRIGATION SYSTEM SUCH AS SPRINKLER AND DRIP IRRIGATION TO BE PROTECTED DURING SITE DEMOLITION.
8. FLOOR SLAB "TRENCH" LOCATIONS ARE NOT SPECIFIED IN DEMOLITION DRAWING. COORDINATE WITH MEP CONTRACTOR.
9. REFER TO HARDWARE SCHEDULE FOR MISCELLANEOUS DEMOLITION FOR DOOR HARDWARE.
10. MAINTAIN CONTINUITY OF BUILDING ENVELOPE, INCLUDING VAPOR BARRIER, AT ALL DEMOLITION LOCATIONS.
11. REFER TO MEP DRAWINGS FOR HVAC LAYOUT AND CONNECTIONS TO EXISTING EQUIPMENT AND DEMOLITION.

DEMOLITION KEYNOTES

- (D1) DEMOLISH EXISTING METAL ROOF AND ITS SUBSTRUCTURE AND PREPARE TO RECEIVE NEW SKYLIGHT. EXACT SIZE AND LOCATION TO BE COORDINATED WITH WINDOW INSTALLER
- (D2) DEMOLISH EXISTING CONCRETE SIDEWALK COMPLETELY AND PREPARE TO RECEIVE NEW CONCRETE SIDEWALK
- (D3) REMOVE EXISTING LIGHT POLE AND MOVE POWER LINE TO NEW LIGHT POLE LOCATION
- (D4) REMOVE EXISTING PLANTINGS, PLANTERS AND GRAVEL BED AND PREPARE TO RECEIVE NEW LANDSCAPE
- (D5) REMOVE EXISTING ASPHALT SIDEWALK AND PREPARE TO RECEIVE NEW CONCRETE SIDEWALK
- (D6) REMOVE EXISTING ASPHALT PARKING AND PREPARE TO RECEIVE NEW CONCRETE ISLAND
- (D7) REMOVE EXISTING TREES
- (D8) REMOVE EXISTING CONCRETE STOOP AND PREPARE TO RECEIVE NEW CONCRETE PAVER
- (D9) REMOVE EXISTING LANDSCAPE AND PREPARE TO RECEIVE NEW CONCRETE SIDEWALK
- (D10) REMOVE EXISTING ASPHALT AS REQUIRED AND PREPARE TO RECEIVE NEW ASPHALT
- (D11) REMOVE EXISTING PARKING WHEEL STOPS COMPLETELY

DEMOLITION SYMBOLS LEGEND



Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200  
Minneapolis, MN 55402 | 612.375.0336

Structure

Swenson Say Fagét Engineers

2124 Third Avenue, Suite 100  
Seattle, Washington 98121 | (206) 443-6212

Mechanical, Electrical & Plumbing

Harris Group

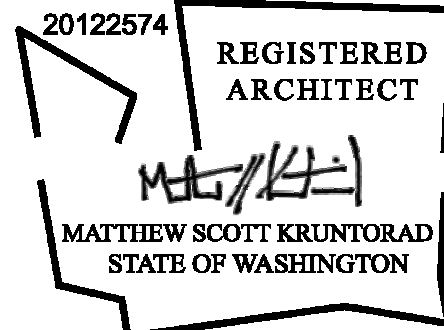
20201 Cedar Valley Road, Ste 120,  
Lynnwood, WA 98036 | 425-774-3829

Project No. 2023003\_DJW

**DARRINGTON LIBRARY**  
1005 Cascade St  
Darrington, WA 98241

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

Architect Seal



Signature

Print Name: Matthew Kruntorad

Date: 04/27/2024

License No.: 20122574

BID SET

ISSUE / REVISION

Mark	Date	Description
1	12/21/2022	ADDENDUM 4

Printing 2023 Copyright Major, Sullivan & Associates, LLC

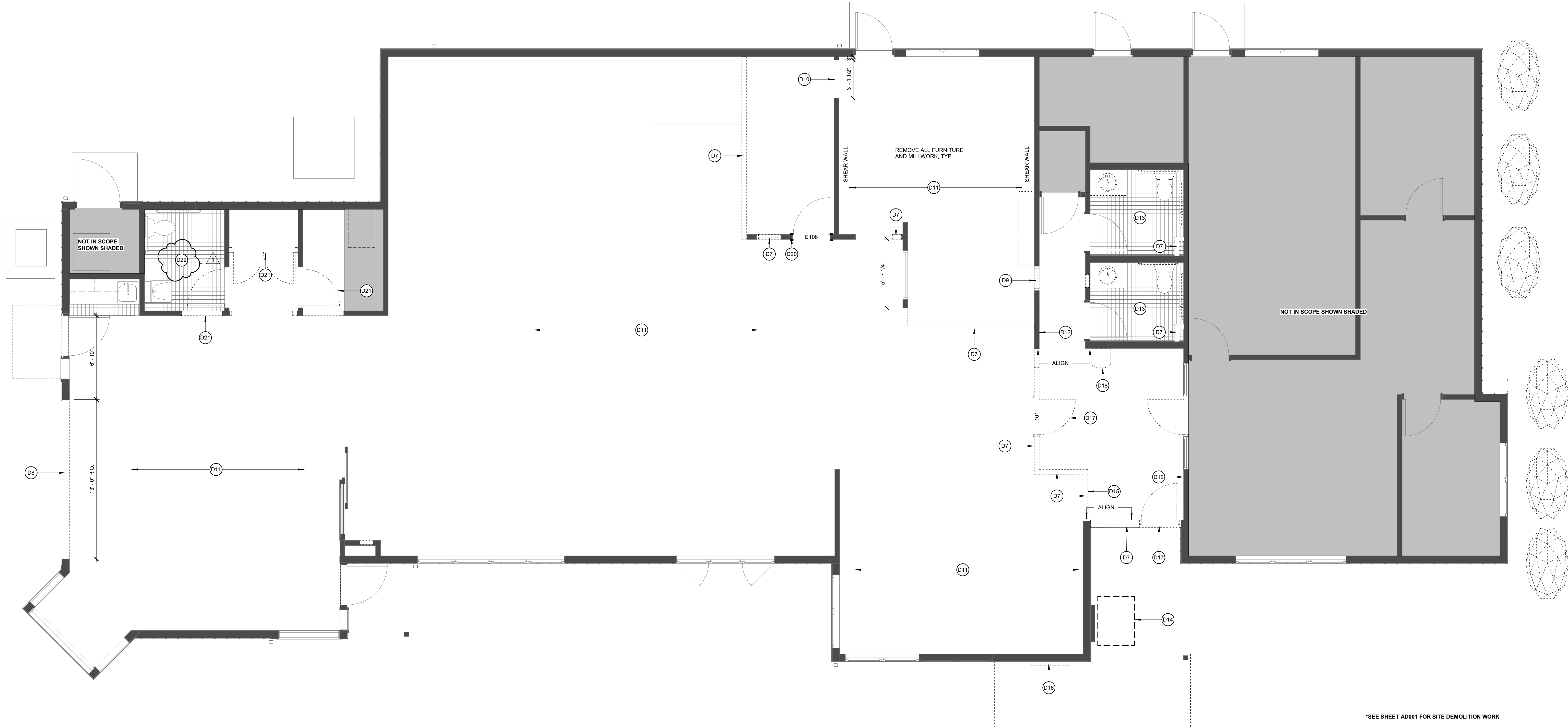
DEMOLITION SITE  
PLAN

**AD001**

Drawing 2022 Copyright: Matt Kruntorad, DARRINGTON LIBRARY, 1005 Cascade St, Darrington, WA 98241. © 2022 Matt Kruntorad, DARRINGTON LIBRARY, 1005 Cascade St, Darrington, WA 98241.

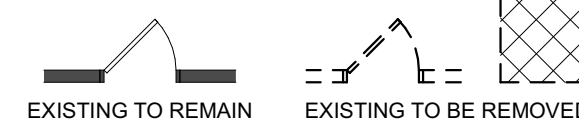
1 LEVEL 1 DEMOLITION FLOOR PLAN

AD101 1/4" = 1'-0"



\*SEE SHEET AD001 FOR SITE DEMOLITION WORK

DEMOLITION SYMBOLS LEGEND



DEMOLITION GENERAL NOTES

1. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS
2. COORDINATE DEMOLITION DRAWING WITH ALL NEW CONSTRUCTION DRAWINGS TO VERIFY EXACT SCOPE OF DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. ALL ITEMS INDICATED TO BE REMOVED AND SALVAGED TO BE PROTECTED FROM DAMAGE DURING REMOVAL. STORE IN PROTECTED LOCATION FOR FUTURE REUSE.
4. ALL EXISTING DOORS AND FRAMES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE DURING DEMOLITION.
5. ALL EXISTING LIGHT FIXTURES, JUNCTION BOXES, AND WIRING TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
6. ALL EXISTING DIFFUSERS, VENTS AND HEATING UNITS AND METAL COVERS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION.
7. ALL EXISTING IRRIGATION SYSTEM SUCH AS SPRINKLER AND DRIP IRRIGATION TO BE PROTECTED DURING SITE DEMOLITION.
8. ALL EXISTING FURNITURE AND MILLWORK SHALL BE REMOVED COMPLETELY, U.N.O.
9. FLOOR SLAB ELECTRICAL TRENCH LOCATIONS ARE NOT SPECIFIED IN DEMOLITION DRAWING. COORDINATE WITH MEP CONTRACTOR.
10. REFER TO HARDWARE SCHEDULE FOR MISCELLANEOUS DEMOLITION FOR DOOR HARDWARE.
11. MAINTAIN CONTINUITY OF BUILDING ENVELOPE, INCLUDING VAPOR BARRIER, AT ALL DEMOLITION LOCATIONS.
12. REFER TO MEP DRAWINGS FOR HVAC LAYOUT AND CONNECTIONS TO EXISTING EQUIPMENT AND DEMOLITION.
13. DECOMMISSIONED POWER SHALL BE PROPERLY TERMINATED, TRIMMED, CAPPED AND SAFELY ENCLOSED IN ACCESSIBLE SURFACE-FLUSH ELECTRICAL BOX, TYP.

DEMOLITION KEYNOTES

- 01 DEMOLISH LIGHT FIXTURE. ELECTRICAL BOX AND WIRING TO REMAIN FOR NEW LIGHT FIXTURE. PREPARE TO RECEIVE NEW LIGHT FIXTURE.
- 02 DEMOLISH CEILING WHERE INDICATED. PREPARE FOR NEW CEILING ELEMENT.
- 03 REMOVE EXISTING RESTROOM FAN. EXISTING ELECTRICAL AND DUCTWORK TO REMAIN FOR NEW RESTROOM FAN. PREPARE FOR NEW EXHAUST FAN.
- 04 DEMOLISH CEILING, ROOF RAFTERS, INSULATION, AND MECHANICAL & ELECTRICAL WHERE INDICATED TO PREPARE FOR NEW SKYLIGHT. REFER TO STRUCTURAL. SEE SKYLIGHT DETAILS ON SHEET A601.
- 05 REMOVE (E) ACT CEILING TILES, SLAGS & LIGHT FIXTURES COMPLETELY FOR AREA SHOWN HATCHED. REPAIR (E) VAPOR BARRIER AND INSULATION AS REQUIRED. PREPARE TO RECEIVE NEW ACT PANELS AND LINEAR LED LIGHT FIXTURES.
- 06 DEMOLISH EXISTING SUPPLY DIFFUSER / RETURN GRILLE. DUCTING TO REMAIN. PREPARE TO RECEIVE NEW DIFFUSER AND RETURN GRILLE.
- 07 DEMOLISH EXISTING WALL, WINDOW AND DOOR COMPLETELY AND PREPARE FOR NEW GLASS PARTITION. REUSE EXISTING TOP PLATES. SEE DETAILS ON A601.
- 08 DEMOLISH EXISTING EXTERIOR WALL COMPLETELY AND PREPARE TO RECEIVE NEW OVERHEAD DOOR. EXACT SIZE OF ROUGH OPENING TO BE COORDINATED WITH DOOR INSTALLER. EXISTING ELECTRICAL SWITCHES AT NORTH TO REMAIN. WIDTH ACCOMMODATED BY EXISTING FRAMING. REFER TO DETAILS ON A601.
- 09 REMOVE EXISTING WINDOW COMPLETELY AND PREPARE TO INFILL WALL.
- 10 PROVIDE OPENING IN SHEAR WALL TO RECEIVE NEW DOOR. REFER TO STRUCTURAL FOR DEMOLITION INFORMATION, COORDINATE WITH DOOR INSTALLER FOR SIZE AND LOCATION OF OPENING.
- 11 REMOVE EXISTING CARPET AND ADHESIVE COMPLETELY AND PREPARE TO RECEIVE NEW CARPET.
- 12 REMOVE EXISTING WALL TRIM AT 8'-0" AFF COMPLETELY AND PREPARE SURFACE TO RECEIVE NEW PAINT FINISH.
- 13 DEMOLISH ENTIRE RESTROOM FIXTURES, FLOOR AND WALL FINISHES COMPLETELY AND PREPARE TO RECEIVE NEW FINISHES INCLUDING WALL TRIMS AND WAINSCOTING COMPLETELY.
- 14 EXISTING BOOK RETURN TO BE SALVAGED AND STORED FOR FUTURE REUSE.
- 15 REMOVE EXISTING MECHANICAL ELECTRIC SPACE HEATER COMPLETELY.
- 16 REMOVE AND SALVAGE EXISTING DISPLAY CASE FOR FUTURE REUSE.
- 17 REMOVE AND SALVAGE EXISTING POWER OPERATOR FOR FUTURE USE. ALL LOW VOLTAGE WIRES TO BE PROTECTED FROM ANY DAMAGE DURING DEMOLITION.
- 18 REMOVE AND SALVAGE EXISTING WATER FOUNTAIN FOR FUTURE USE.
- 19 REMOVE EXISTING ACT CEILING PANELS ONLY AND EXISTING CEILING GRID TO REMAIN TO RECEIVE NEW CEILING PANELS.
- 20 DEMOLISH EXISTING TRIM AT ENTIRE DOOR PERIMETER AND PREPARE TO FINISH PER DOOR SCHEDULE ON A601.
- 21 DEMOLISH EXISTING WALLS WHERE INDICATED. SALVAGE EXISTING DOORS AND DOOR HARDWARE FOR FUTURE REUSE. DEMOLISH EXISTING WALL FOR ROUGH OPENING OF RELOCATED DOOR. PATCH AND REPAIR CEILING, WALL AND FLOOR FINISHES TO MATCH ADJACENT AREAS.
- 22 REMOVE EXISTING TOILET ACCESSORIES ONLY INCLUDING SOAP DISPENSER, PAPER TOWEL DISPENSER, RECEPTACLE, TOILET SEAT PAPER DISPENSER, TOILET PAPER DISPENSER, (TOILET, SINK, MIRROR AND OTHER FINISHES SHALL REMAIN AS IS.)

Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200  
Minneapolis, MN 55402 | 612.375.0336

Structure

Swenson Say Fagét Engineers

2124 Third Avenue, Suite 100  
Seattle, Washington 98121 | (206) 443-6212

Mechanical, Electrical & Plumbing

Harris Group

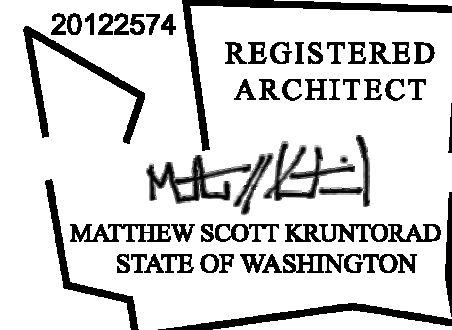
20201 Cedar Valley Road, Ste 120,  
Lynnwood, WA 98036 | 425-774-3829

Project No. 2022003\_DARR

DARRINGTON LIBRARY  
1005 Cascade St  
Darrington, WA 98241

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

Architect Seal



Signature: *Matthew Scott Kruntorad*

Print Name: Matthew Kruntorad

Date: 04/27/2024

License No.: 20122574

BID SET

ISSUE / REVISION

Mark	Date	Description
1	12/21/2022	ADDENDUM 4

Revised: 2022 Copyright: Matt Kruntorad, DARRINGTON LIBRARY, 1005 Cascade St, Darrington, WA 98241.

LEVEL 1 DEMOLITION PLAN

AD101

1. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLAN.
2. REFER TO MATERIAL LIST IN PROJECT MANUAL FOR MATERIALS AND FINISHES.
3. CIVIL AND LANDSCAPE TO BE PROVIDED BY DESIGN BUILD CONTRACTOR, PROVIDE SHOP DRAWINGS TO ARCHITECT PRIOR TO INSTALLATION.
4. PROJECT SCOPE IS LIMITED TO AREA IDENTIFIED IN SITE PLAN.
5. ALL EXISTING DIFFUSERS, VENTS AND HEATING UNITS AND METAL COVERS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION
6. EXISTING IRRIGATION SYSTEM TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGES TO IRRIGATION SYSTEM TO BE REPAIRED TO ITS ORIGINAL CONDITION.
- 7.

510 Marquette Avenue South, Suite 200  
Minneapolis, MN 55402 | 612.375.0336

2124 Third Avenue, Suite 100  
Seattle, Washington 98121 | (206) 443-6212

20201 Cedar Valley Road, Ste 120,  
Lynnwood, WA 98036 | 425-774-3829



Project No: 2022008\_DAR

**DARRINGTON LIBRARY**  
1005 Cascade St  
Darrington, WA 98241

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

**Architect Seal**



Signature MEL / 15-1

Print Name Matthew Krontorad

Date 04/27/2024 License No 20122574

**ISSUE / REVISION**

Mark	Date	Description
1	12/21/2022	ADDENDUM 4

Drawing 2002 Copyright Meyer, Scherer & Rockcastle, Ltd.

# A001

- GENERAL NOTES
1. REFER TO PROJECT MANUAL FOR INFORMATION ON MATERIAL AND FINISH TAGS IN DRAWINGS
  2. REFER TO EXTERIOR ELEVATIONS FOR NEW EXTERIOR WINDOW TYPES AND DIMENSIONS, AND INTERIOR ELEVATIONS FOR INTERIOR WINDOW AND GLAZING TYPES.
  3. PROVIDE PROPER BLOCKING FOR WALL MOUNTED FIXTURES SUCH AS FURNITURE, MILLWORK, AV EQUIPMENT AND TOILET ACCESSORIES. REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHT.
  4. ALL DIMENSIONS TO FACE OF WALL FINISH TIED TO CENTERLINE OF STRUCTURE GRID, UNLESS NOTED OTHERWISE. SEE PLAN FOR SPECIFIC LOCATIONS.
  5. ALL WALLS TAGGED WITH 'R' WILL HAVE ACOUSTIC INSULATION AND WILL GO TO BOTTOM OF TRUSS. SEE PLAN FOR LOCATION OF ACOUSTICALLY RATED WALL AND REFER TO WALL TYPES DRAWING FOR MORE INFORMATION ON ACOUSTICALLY RATED PARTITIONS.
  6. ALL DRYWALLS SHALL RECEIVE LEVEL 5 FINISH, U.N.O.
  7. CONTRACTOR TO PROVIDE POWER AND DATA FOR OWNER PROVIDED AV EQUIPMENT (TV, SPEAKERS).
  8. REFER TO MILLWORK DRAWINGS FOR ALL CASEWORK. ELEMENTS IDENTIFIED AS CASEWORK IN DRAWINGS ARE PART OF PROJECT SCOPE.
  9. FURNITURE DRAWING IS FOR REFERENCE ONLY FOR COORDINATION WITH OTHER TRADES. FURNITURE WILL BE FURNISHED BY OWNER.
  10. "ORIGINAL" BUILDING REFERS TO THE PORTION OF THE BUILDING CONSTRUCTED IN 1989. "ADDITION" REFERS TO THE PORTION OF THE BUILDING CONSTRUCTED IN 2008.
  11. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS.

Architecture and Interiors

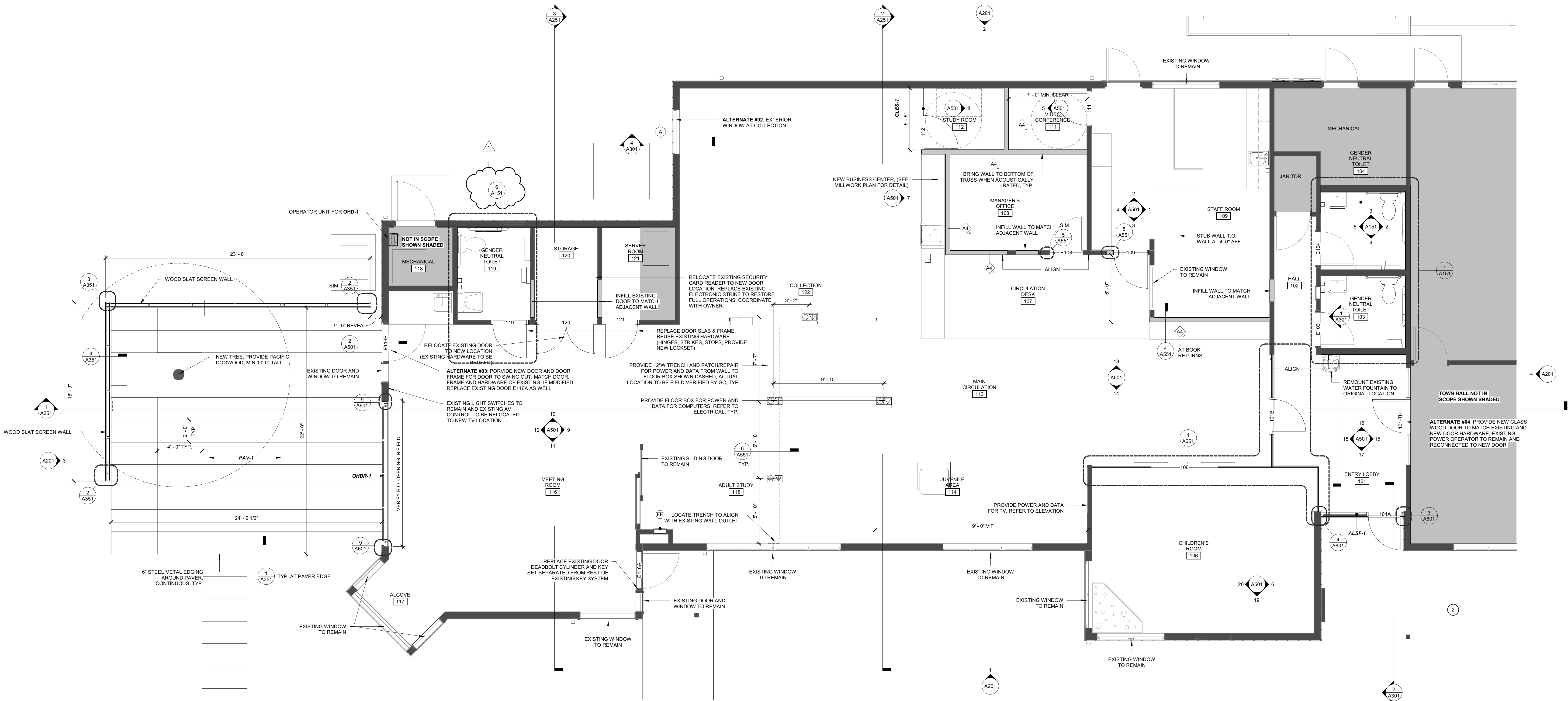
**MSRDesign**  
510 Marquette Avenue South, Suite 200  
Minneapolis, MN 55402 | 612.375.0336

Structure

**Swenson Say Fagét Engineers**  
2124 Third Avenue, Suite 100  
Seattle, Washington 98121 | (206) 443-6212

Mechanical, Electrical & Plumbing

**Harris Group**  
20201 Cedar Valley Road, Ste 120,  
Lynnwood, WA 98036 | 425-774-3829



**DARRINGTON LIBRARY**  
1005 Cascade St  
Darrington, WA 98241

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the Laws of the State of Minnesota.

Architect Seal

20122574  
**REGISTERED ARCHITECT**  
Matthew Scott Kruntorad  
STATE OF WASHINGTON

Signature: *Matthew Kruntorad*  
Print Name: Matthew Kruntorad  
Date: 04/27/2024 License No.: 20122574

BID SET

ISSUE / REVISION

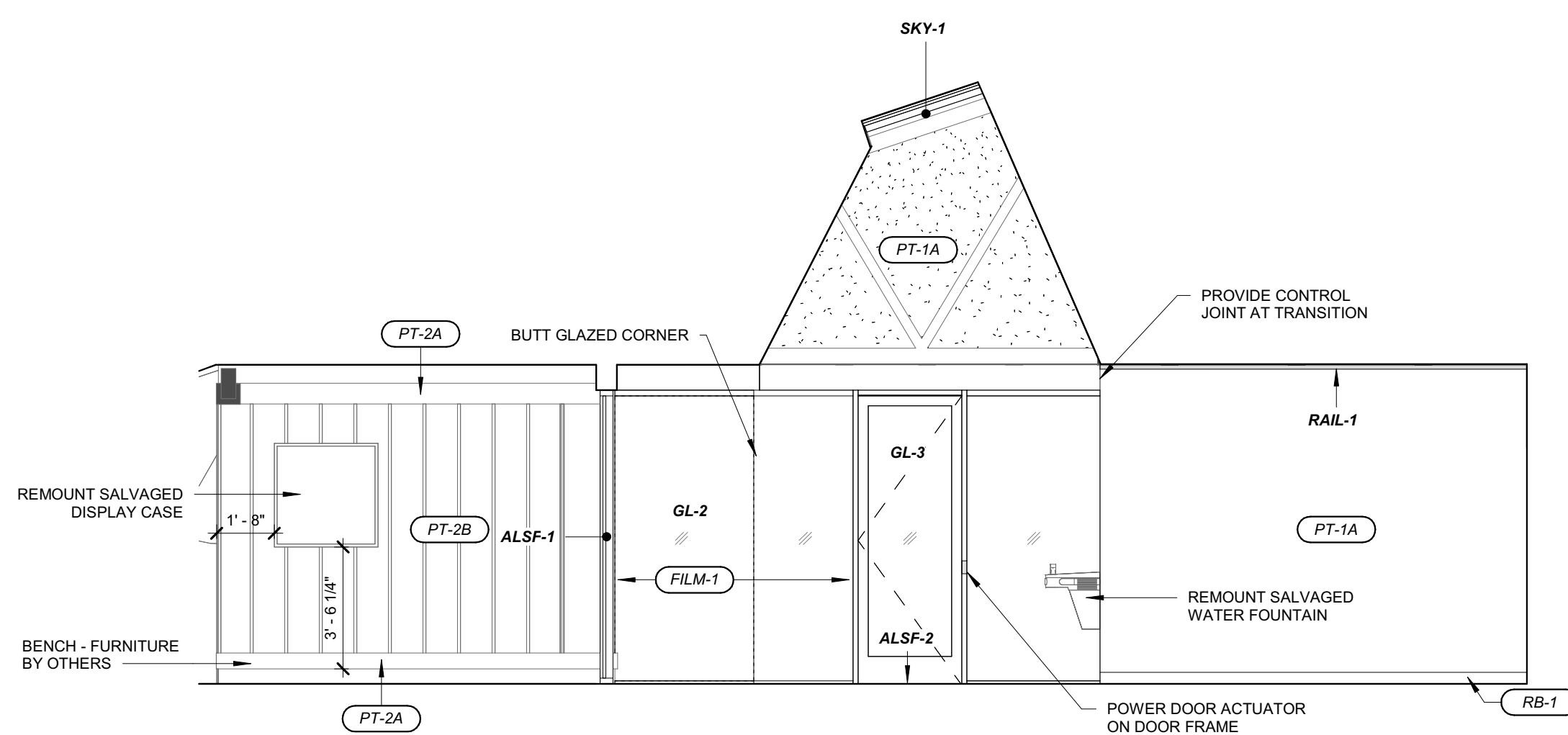
Mark	Date	Description
1	12/21/2022	ADDENDUM 4

LEVEL ONE

**A101**

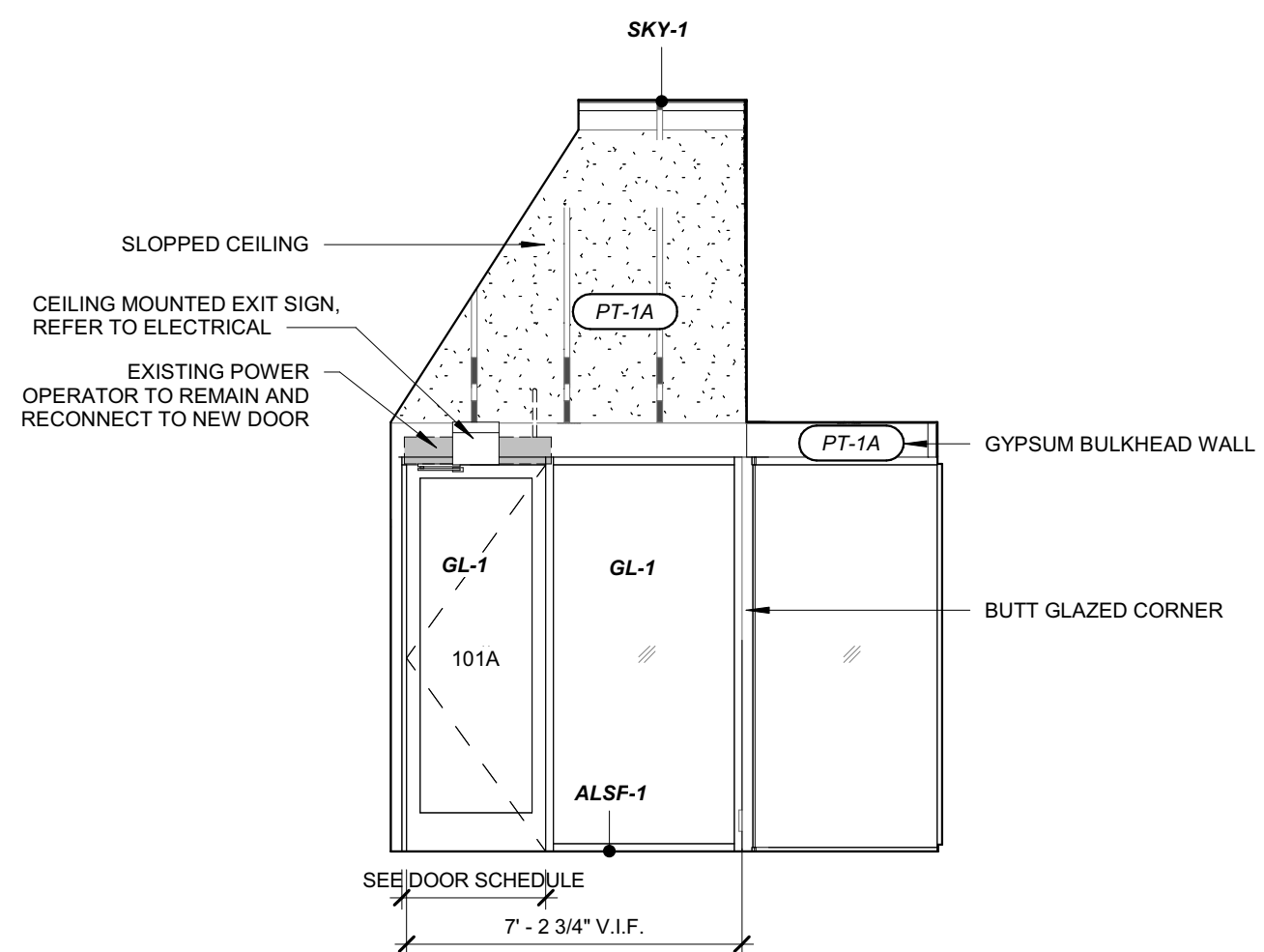






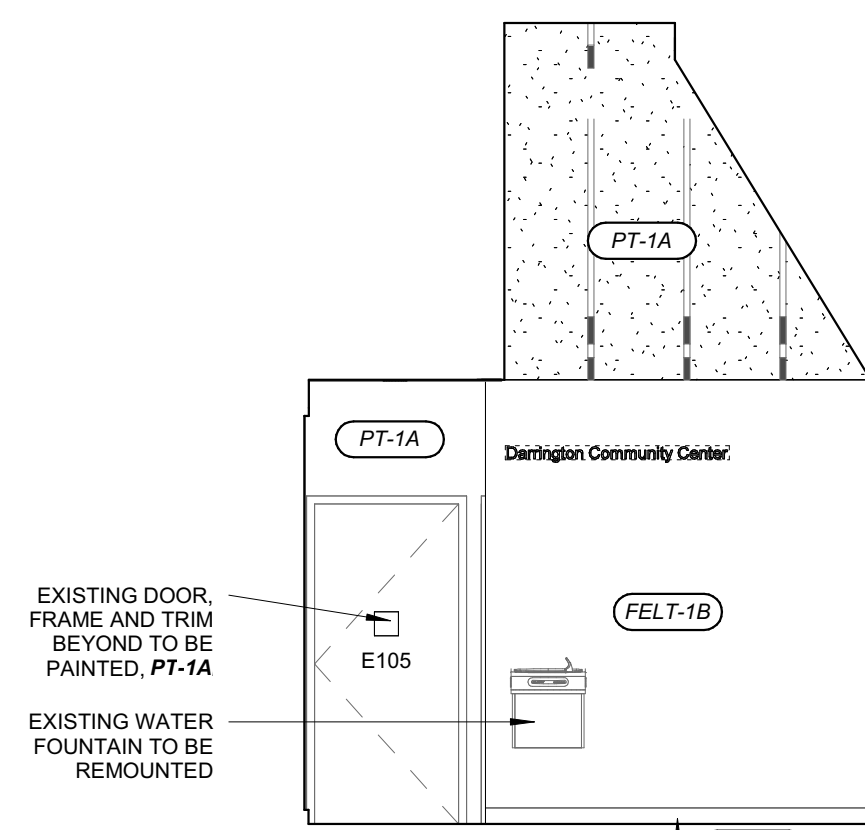
18 ENTRY - WEST

A501 1/4" = 1'-0"



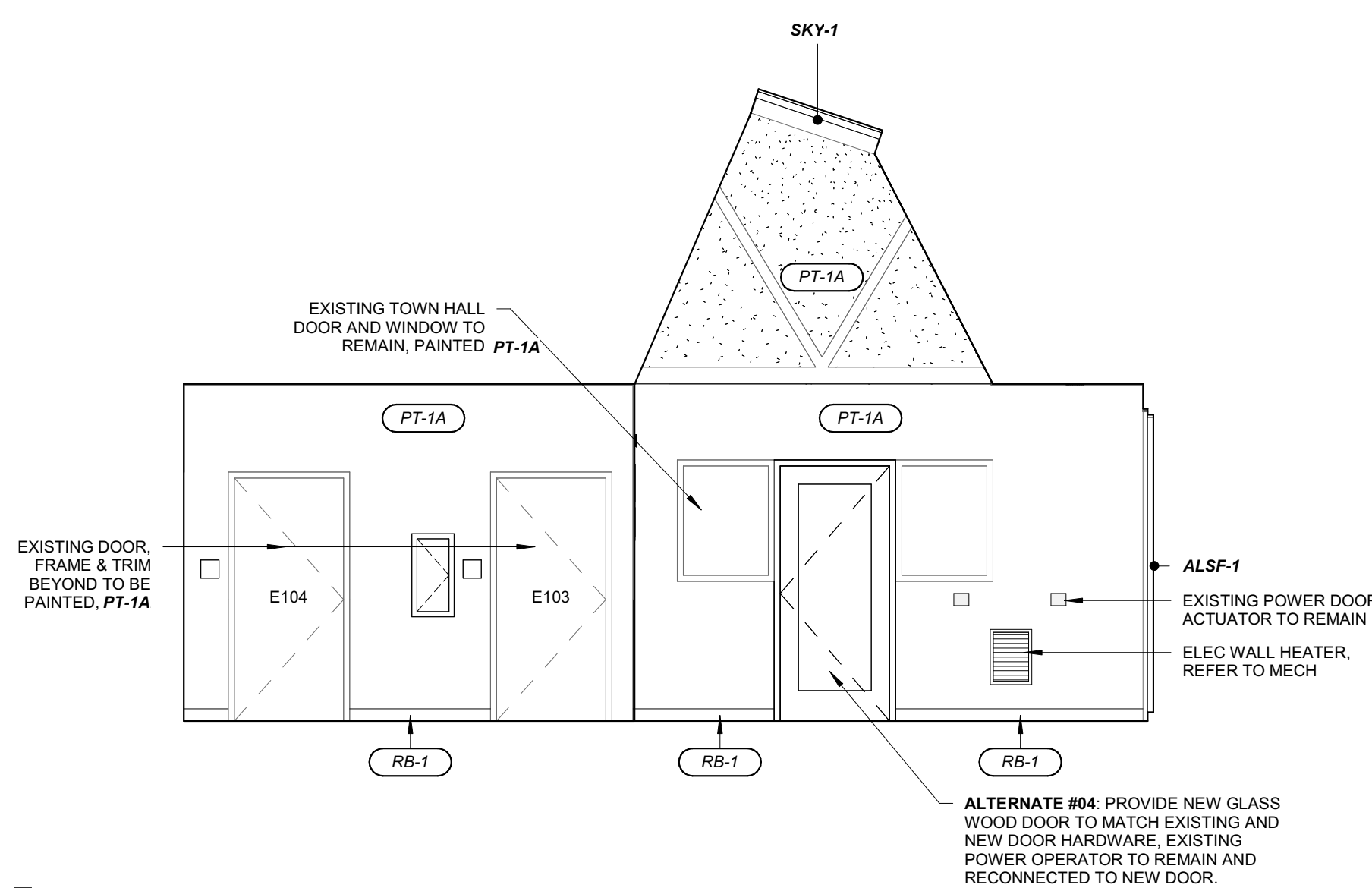
17 ENTRY - SOUTH

A501 1/4" = 1'-0"



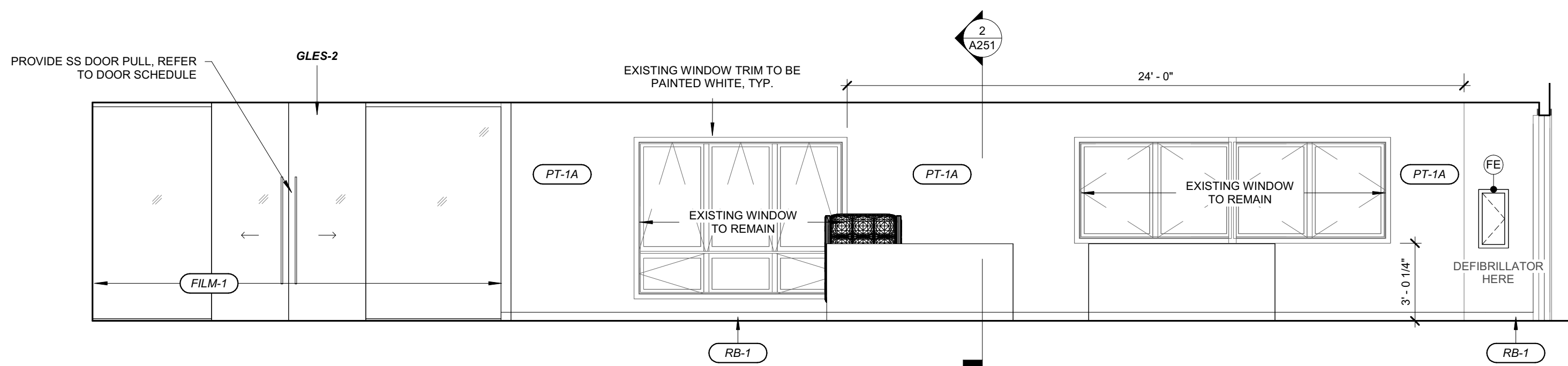
16 ENTRY - NORTH

A501 1/4" = 1'-0"



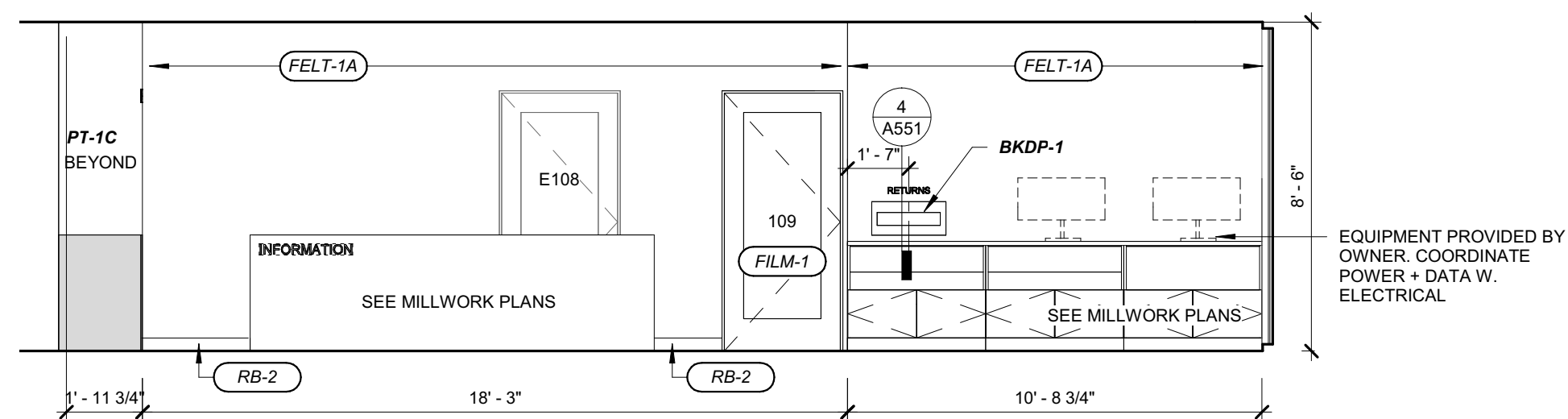
15 ENTRY - EAST

A501 1/4" = 1'-0"



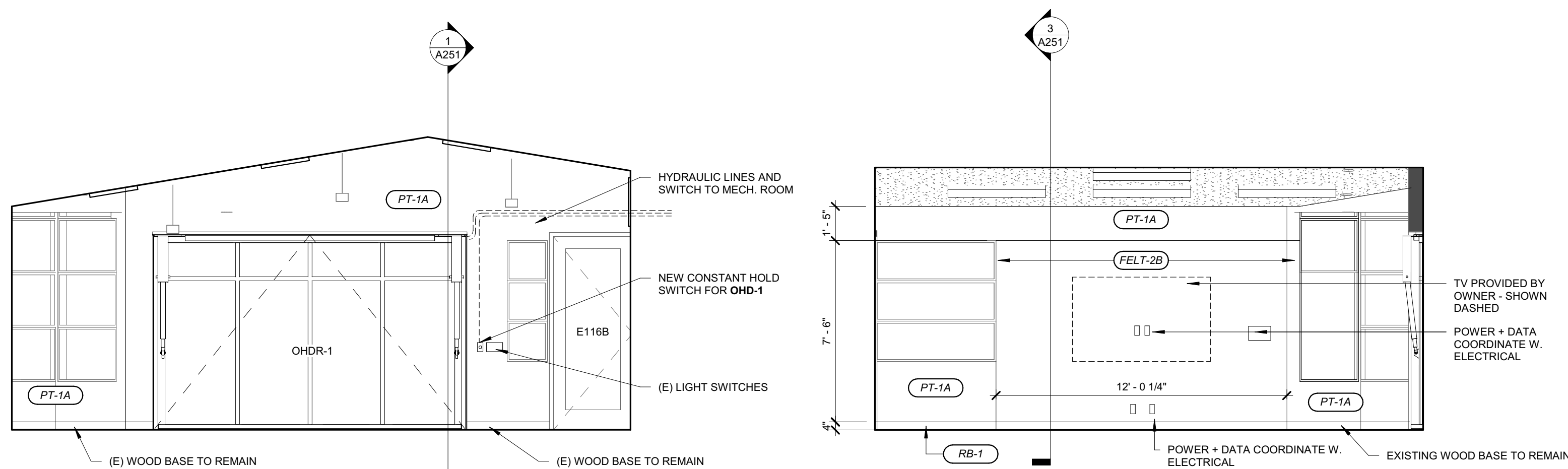
14 MAIN CIRCULATION - SOUTH

A501 1/4" = 1'-0"



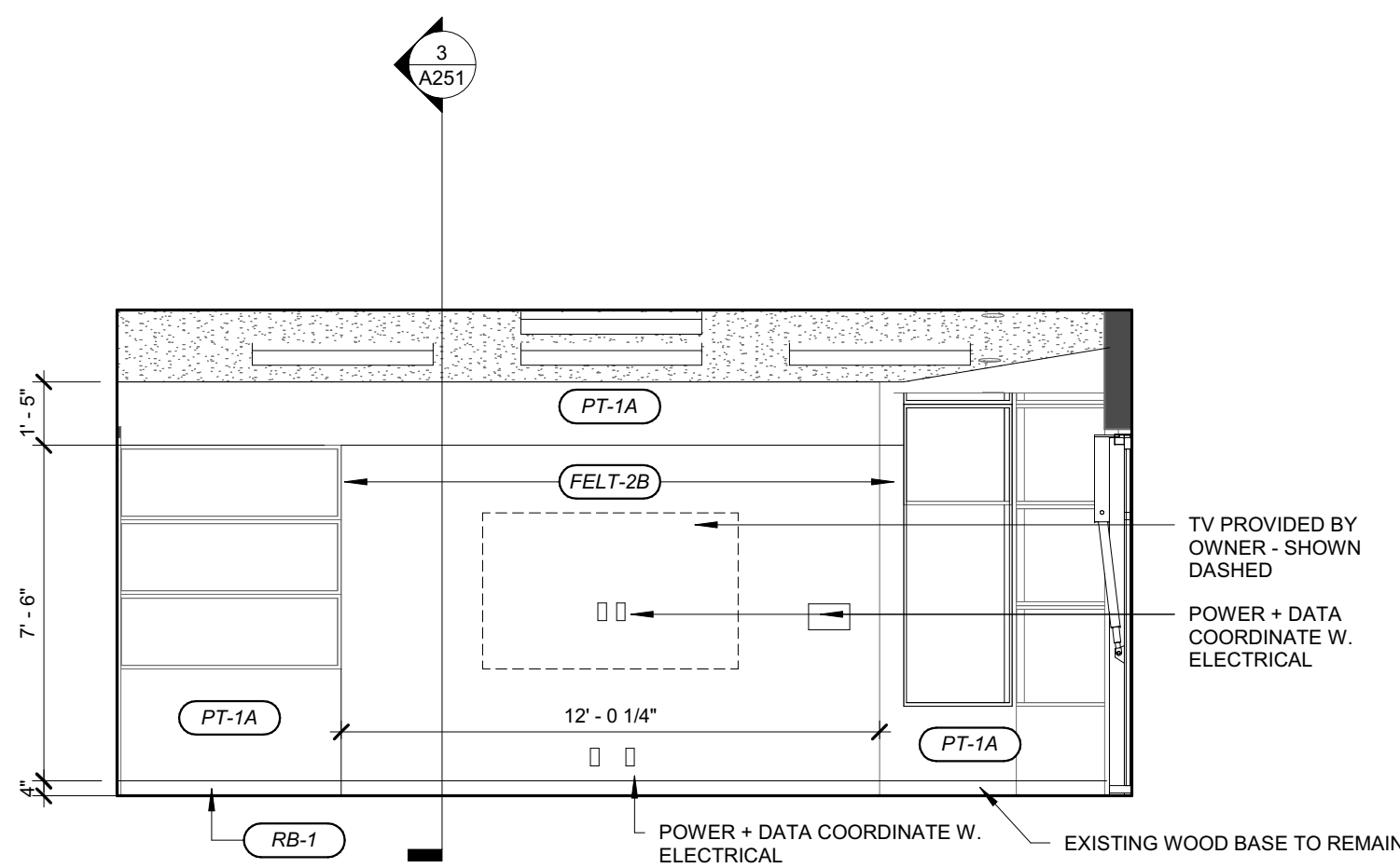
13 MAIN CIRCULATION - NORTH

A501 1/4" = 1'-0"



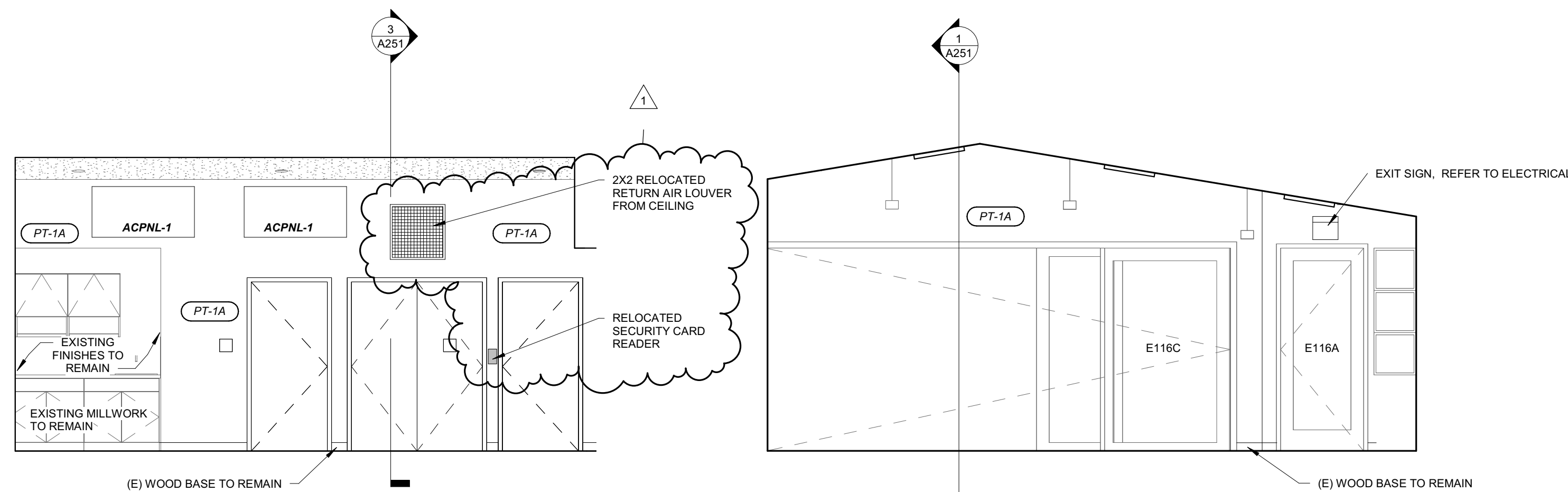
12 MEETING ROOM - WEST

A501 1/4" = 1'-0"



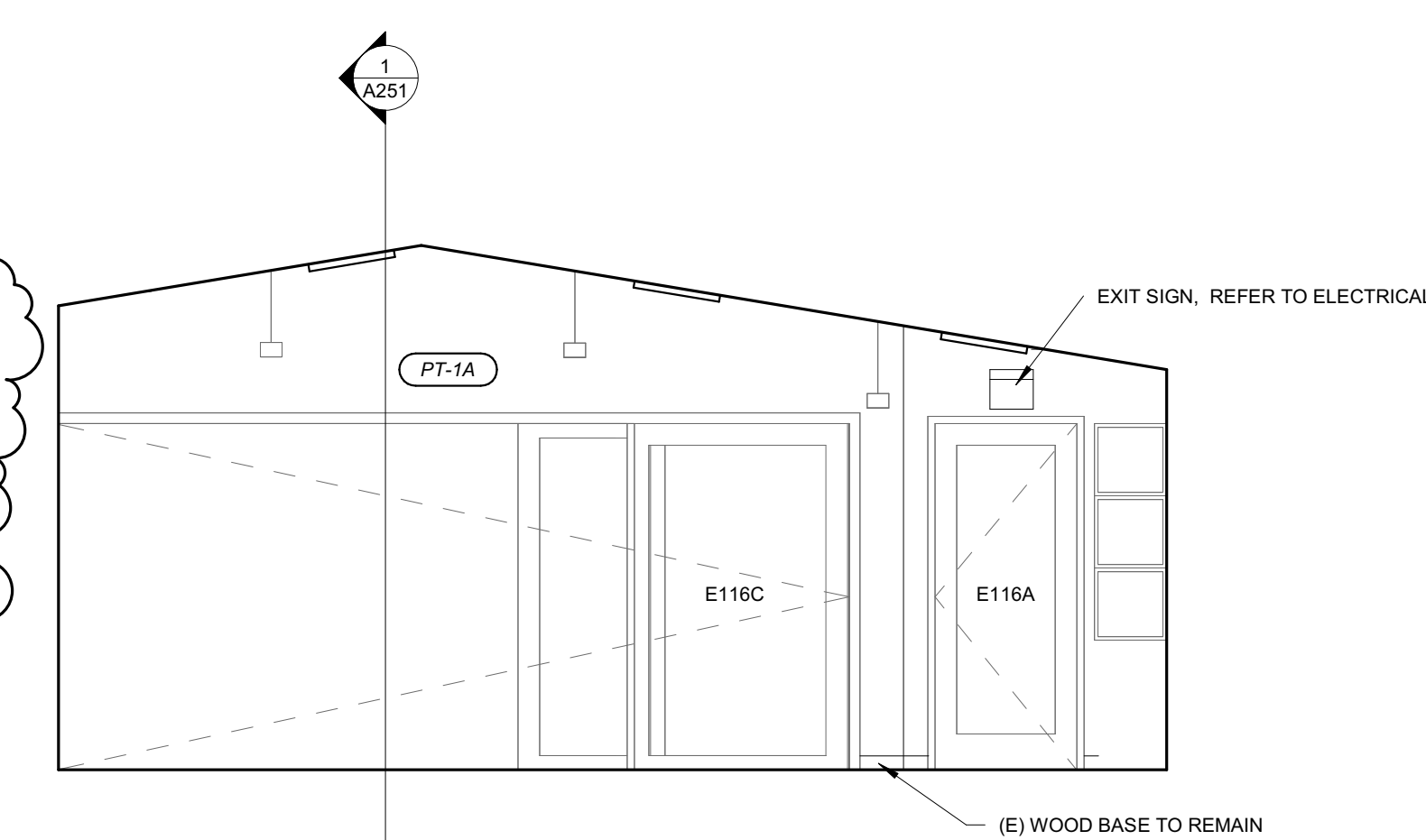
11 MEETING ROOM SOUTH

A501 1/4" = 1'-0"



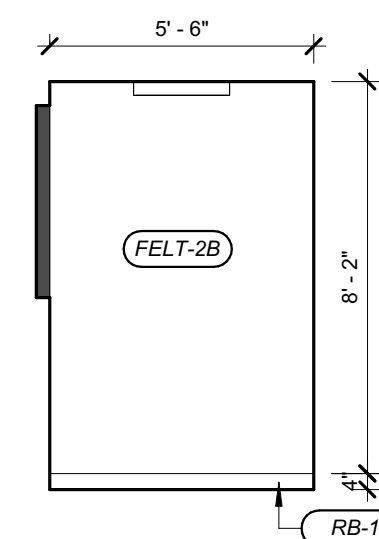
10 MEETING ROOM - NORTH

A501 1/4" = 1'-0"



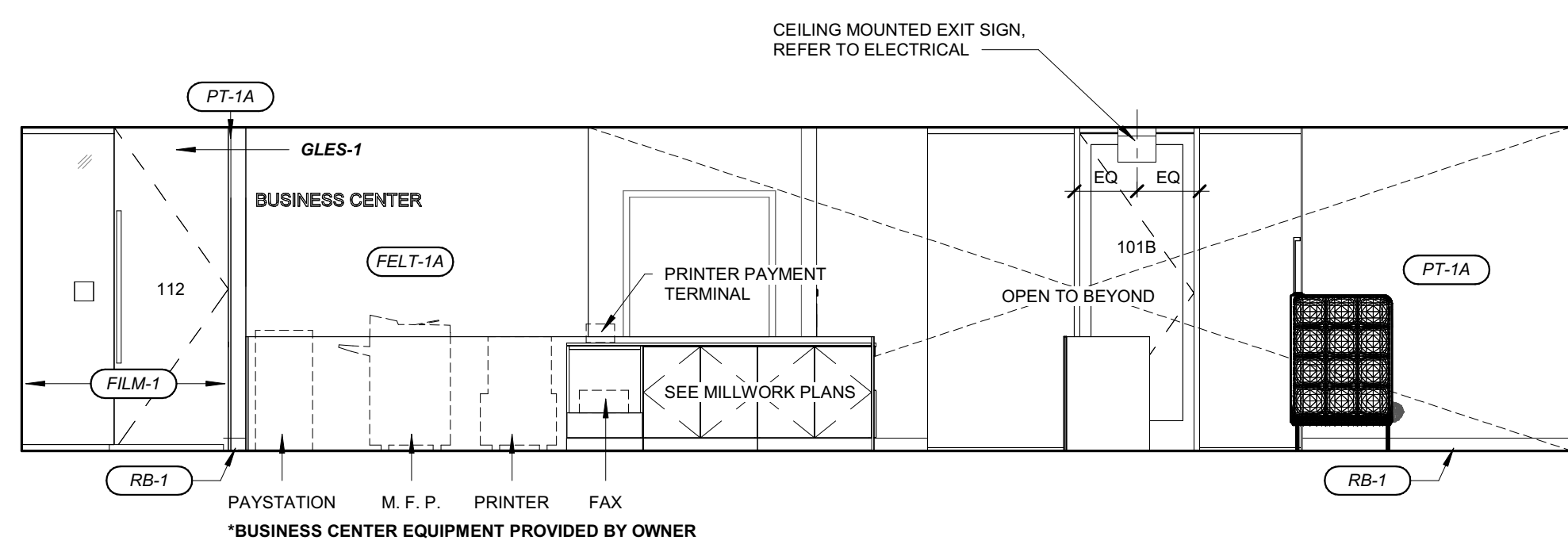
9 MEETING ROOM - EAST

A501 1/4" = 1'-0"



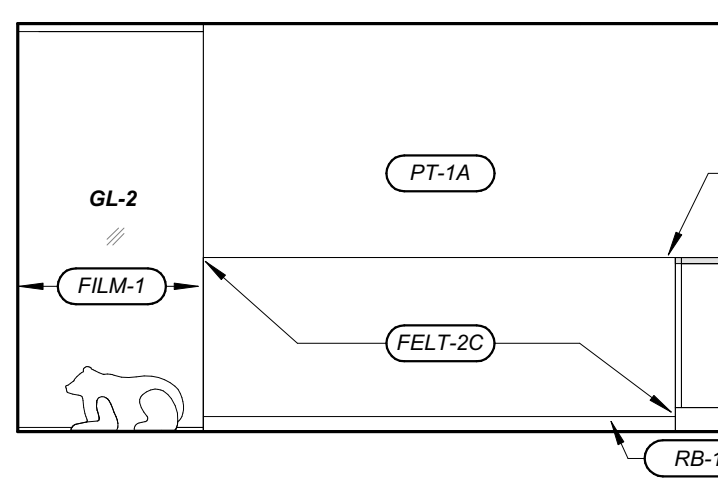
8 STUDY ROOM - EAST

A501 1/4" = 1'-0"



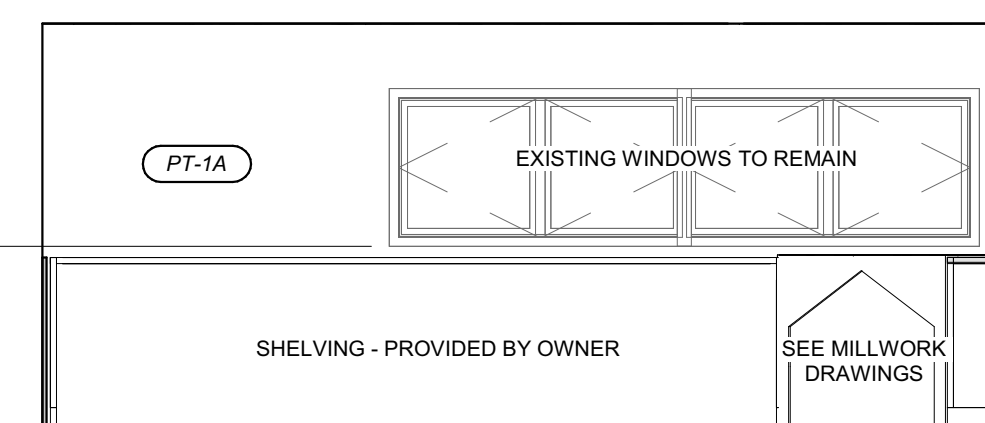
7 BUSINESS CENTER - EAST

A501 1/4" = 1'-0"



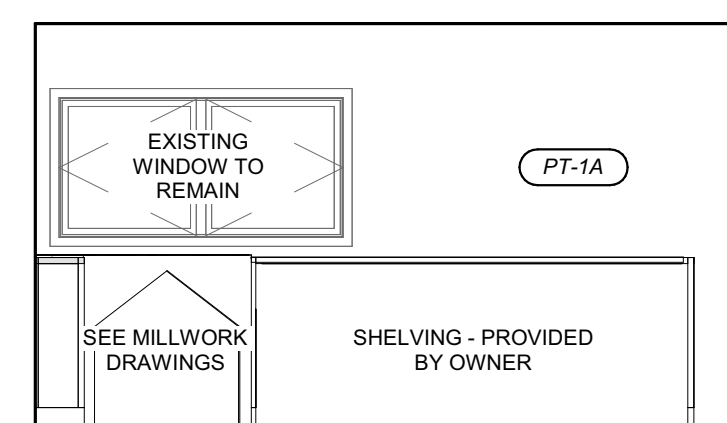
6 CHILDREN'S ROOM - EAST

A501 1/4" = 1'-0"



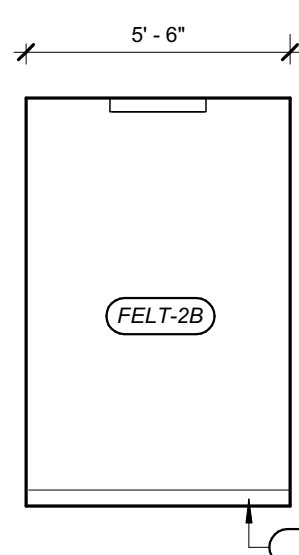
19 CHILDREN'S ROOM - SOUTH

A501 1/4" = 1'-0"



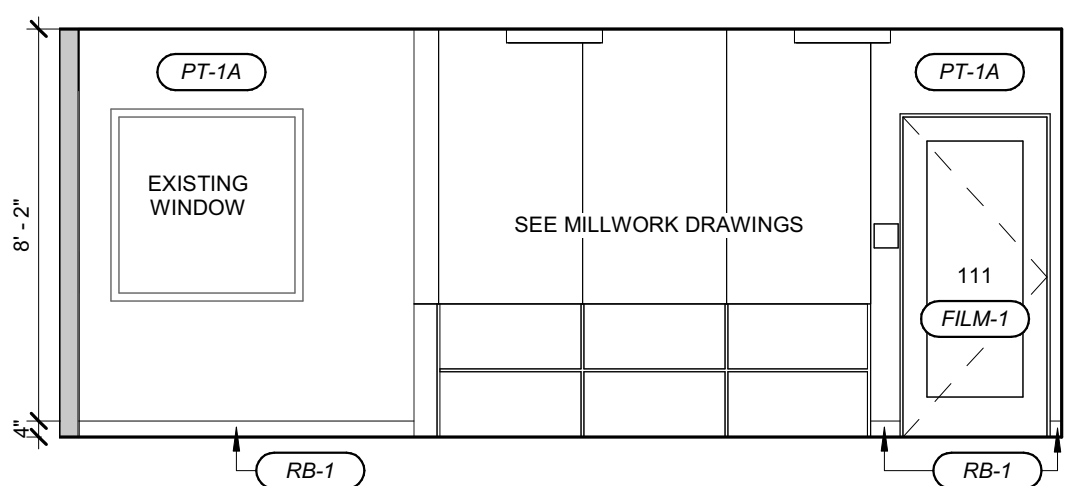
20 CHILDREN'S ROOM - WEST

A501 1/4" = 1'-0"



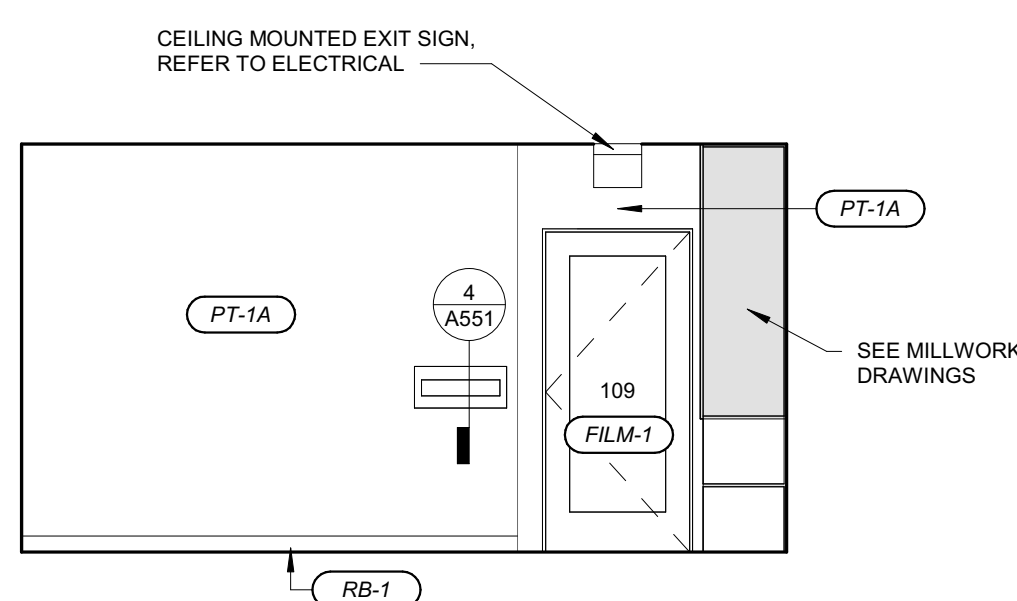
5 BREAK ROOM - WEST

A501 1/4" = 1'-0"



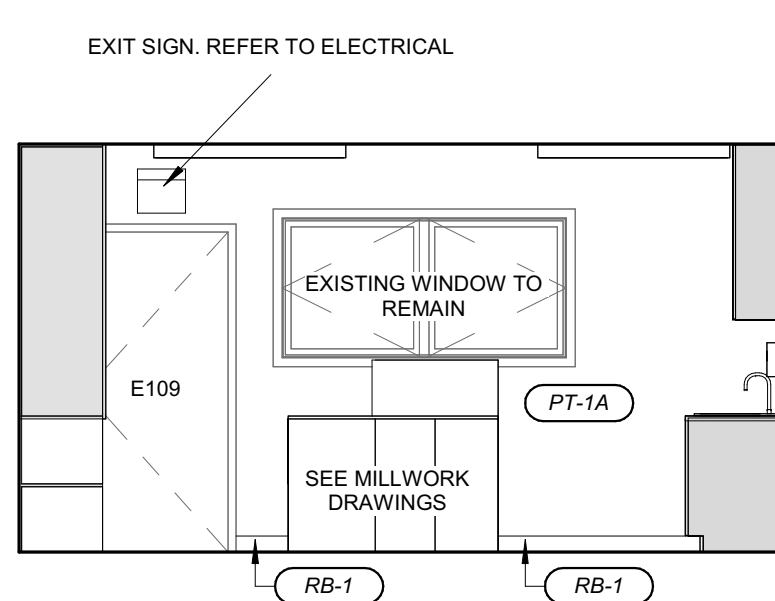
4 STAFF AREA - WEST

A501 1/4" = 1'-0"



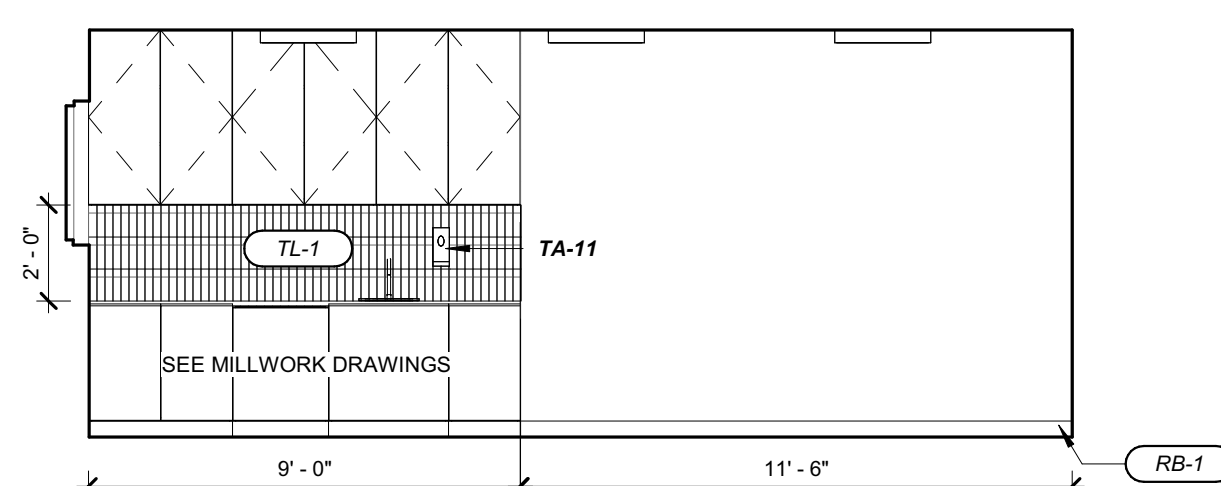
3 STAFF AREA - SOUTH

A501 1/4" = 1'-0"



2 STAFF AREA - NORTH

A501 1/4" = 1'-0"



1 STAFF AREA - EAST

A501 1/4" = 1'-0"